



Bath Township
Summit County, Ohio
3864 West Bath Road - P.O. Box 1188 - Bath, Ohio - 44210-1188
Phone: 330.666.4007 - Fax: 330.666.0305
www.bathtownship.org

Boards, Commissions, and Other Applications

Date: 07/17/2025

Applicant / Owner

Applicant Name:	Robert Michael Newell	Owner Name:	
Applicant Address:	281 Alden Ave Akron Oh 44313	Address:	
Applicant Phone:	330-906-7636	City, State, Zip:	
Applicant Email:	rmnewell3@gmail.com	Phone:	
Property Address:	3243 YELLOW CREEK RD3221 Yellow Creek Rd	Email:	
City, State, Zip	,		
Parcel:			
Lot:			
Zoning District:	R-2		
Company Name:			
Company Phone:			

Project

Permit Type:	Conditional Use Residential	Front Setback:	0
Project Cost:	0	Side Setback (L):	0
Existing Sq. Ft.:	0	Side Setback (R):	0
Additional Sq. Ft.:	0	Height:	.00
Corner Lot?:	Yes	Sign Sq. Footage:	
Allotment Name:		Minimum Lot Area:	
Type of Review:	Building/Elevation	Lots Created:	
Other:		Smallest Lot Size:	
Subdivision Type:	Major Subdivision – Open Space	Largest Lot Size:	
Total Site Area:		Minimum Road Frontage:	
Open Space Area:		Minimum Lot Width at Front Setback	
% Open Space:		Line:	
Permitted Density:		<u>Minor Subdivisions</u>	
Density Bonus:		Lot 1:	
Total Home Sites:		Lot 2:	
Proposed Sewer:	Central	Lot 3:	
Proposed Water:	Central	Lot 4:	
		Lot 5:	

Setback from Principle Structure: 0

Are there existing oil/gas wells or tank batteries on the parcel(s)? No

Are there any existing structures on the parcel(s)? No

Are there any easements on the parcel(s)? No

Do all proposed lots have the minimum required frontage on a dedicated road? No

For subdivisions, do all proposed lots meet the requirement of Section 802 regarding no slopes greater than 30% within the building envelope? No

Provide an overview of the project:

- A. Special Conditions:
- B. Explain Benefits:
- C. Substantial:
- D. Neighborhood:
- E. Governmental Services:
- F. Knowledge at time of Purchase:
- G. Special Circumstances:
- H. Resolution Method Demonstrated:
- I. Spirit and Intent:

Zoning Text or Map Amendment

Present Land Use: Existing Zoning:

Proposed Zoning District:
 Legal Description of Proposed Rezone:

Proposed Land Use:

Previously attempted rezoning of property? No
 If yes, when?

Condition Use / Variance Requested

Section: 701-D-2 Description: existing structure will be accessory structure and new build will be primary residence Practical Difficulty:

Section: Description: Accessory Dwelling Practical Difficulty:

Section: Description: Practical Difficulty:

Section: Description: Practical Difficulty:

Contractor Info

Name	Address	Phone	License
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Application Certification

Right of Revocation:

Deed Restrictions:

I do hereby certify that the information contained herein is true and correct.

<u>Robert Michael Newell</u> Name	<u>07/17/2025</u> Date
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BATH TOWNSHIP AREA VARIANCE SUPPLEMENTAL FORM

PROJECT OVERVIEW

Provide an overview of the project:

we propose to build a modern farmhouse on the property with the existing ohio historical farmhouse. The property has been in our family for 150 years as a working farm. The existing family members living on the farm are elderly and we would like to live on the property to assist in the care of the property and animals.

PRACTICAL DIFFICULTIES

The following factors shall be considered and weighed by the BZA to determine practical difficulty. If a factor is not applicable, please note that factor as "Not Applicable":

- A. Explain special conditions or circumstances that exist which are peculiar to your land or structure involved and which are not applicable generally to other lands or structures in the same Zoning District. (Examples of this are: exceptional irregularity, narrowness, shallowness or steepness of the lot, or adjacency to nonconforming and inharmonious uses, structures or conditions):

The existing home is 400 sq ft over allowed variance and cannot be changed. The existing farmhouse is 150 yrs old and is designated as an Ohio Historic Farm. If we split the property any further we do not have enough acreage to maintain the historical designation.

- B. Explain how the property in question would not yield a reasonable return on investment or there could not be any beneficial use of the property without the variance.

N/A

- C. Explain whether the variance is substantial or not:

NO it is 400 sq ft

- D. Explain whether the essential character of the neighborhood would be substantially altered or if adjoining properties would suffer a substantial detriment as a result of the variance.

The new structure will also be a farm house
to maintain aesthetic of property

- E. Explain whether the variance would adversely affect the delivery of governmental services (e.g., water, sewer, garbage, fire, street services,).

NA

- F. Did the applicant purchase the property with or without knowledge of the applicable zoning restriction?

The property was inherited from
parents of the three current owners

- G. Explain whether the special conditions or circumstances (listed in response to question A above) were a result of actions of the applicant or prior owners.

NA

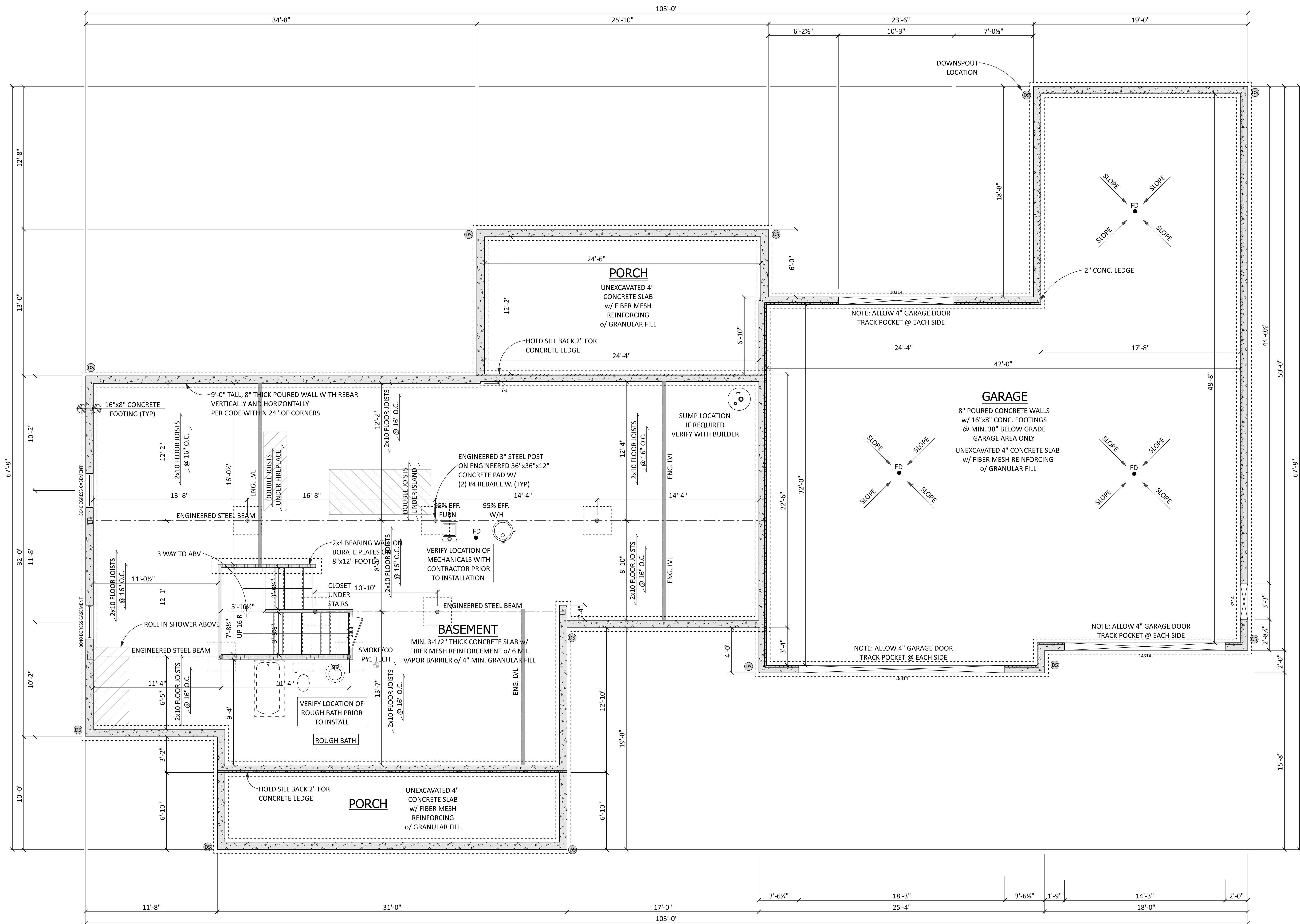
- H. Demonstrate whether the applicant's predicament feasibly can be resolved through a method other than a variance (e.g., a zone-conforming but unworkable example, or by minimizing the variance).

The other options would not allow the
property to continue to be listed as
an Ohio Historical Farm


- i. Explain whether the spirit and intent behind the zoning requirement would be observed and/or substantial justice done by granting the variance.

The farm existed prior to the current zoning requirements.

**No single factor listed above may control, and not all factors may be applicable in each case. Each case shall be determined on its own facts.*

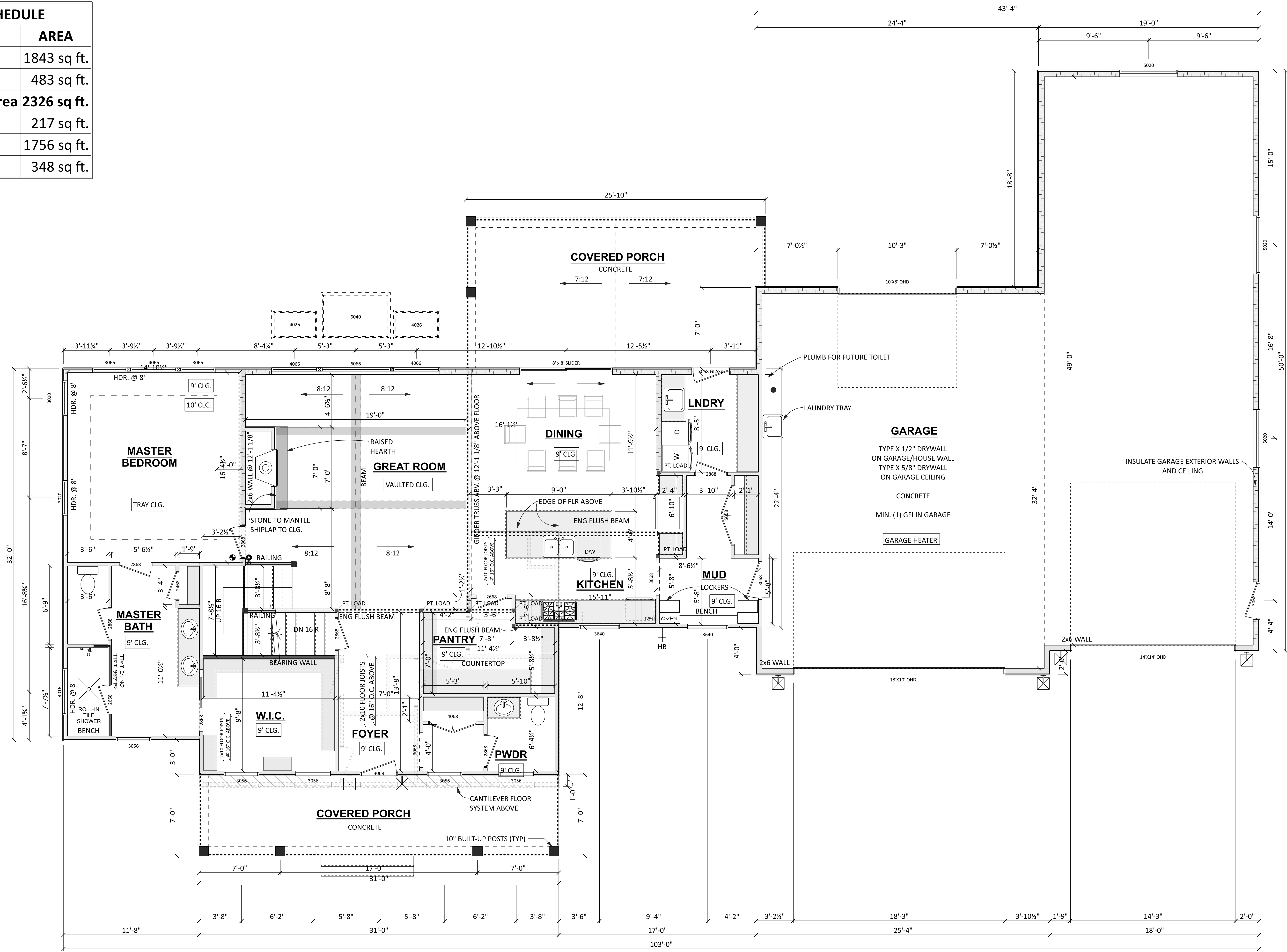


THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR THE CORRECT INSTALLATION OF ALL EXTERIOR AND INTERIOR FINISHES AND WATERPROOFING

DRAWN BY: VD SCALE: AS SHOWN DATE: Thursday, December 26, 2024	PAGE: 4 / 8 Foundation
REVISIONS DATE:	
1599 Randolph Rd Mogadore, Ohio 44260 330.446.0497	
	
Newell/Gosselin PHONE: Bath Ohio 44333	

AREA SCHEDULE

NAME	AREA
Main Floor	1843 sq ft.
Second Floor	483 sq ft.
Total Finished Area	2326 sq ft.
Front Porch	217 sq ft.
Garage	1756 sq ft.
Rear Porch	348 sq ft.



MAIN FLOOR V3
SCALE: 1/4" = 1'-0"

THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR THE CORRECT INSTALLATION OF ALL EXTERIOR AND INTERIOR FINISHES AND WATERPROOFING

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PAGE: 5 / 8
MAIN FLOOR

REVISIONS
DATE:

DRAWN BY: VD
SCALE: AS SHOWN
DATE: Thursday, December 26, 2024

1599 Randolph Rd
Mogadore, Ohio 44260
330.446.0497

VESTA
DESIGN

Newell/Gossein
3243 Yellow Creek Rd
Bath, Ohio 44333

PHONE:
FAX:
MOBILE:

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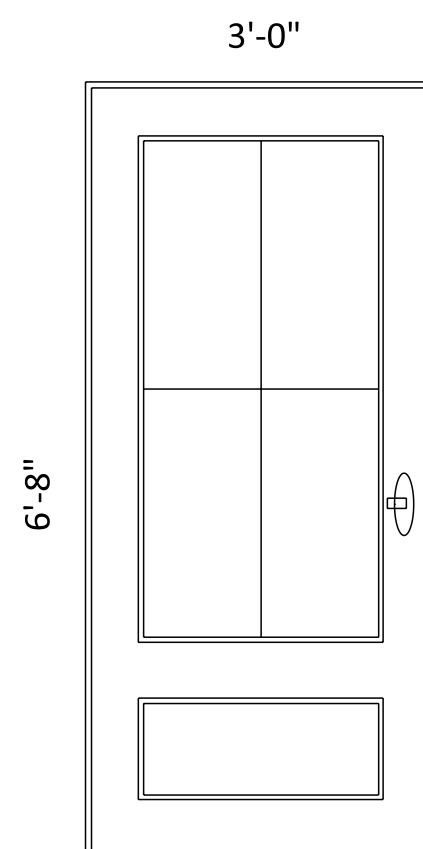
3068 (DOOR LABEL ON FLOOR PLAN) IS A DOOR THAT IS 3 FT 0 INCHES WIDE BY 6 FEET 8 INCHES TALL. TO FURTHER CLARIFY THE 3068 LABEL IS TO BE READ AS FEET AND INCHES (WIDTH) AND FEET AND INCHES (HEIGHT)

THE DOOR LABEL IS THE ACTUAL SIZE OF THE DOOR ITSELF NOT THE ROUGH OPENING SIZE. VERIFY THE ROUGH OPENING SIZE WITH THE DOOR MANUFACTURER CHOSEN AT SITE.

3050 (WINDOW LABEL ON FLOOR PLAN) IS A WINDOW THAT IS 3 FT 0 INCHES WIDE BY 5 FEET 0 INCHES TALL. TO FURTHER CLARIFY THE 3050 LABEL IS TO BE READ AS FEET AND INCHES (WIDTH) AND FEET AND INCHES (HEIGHT)

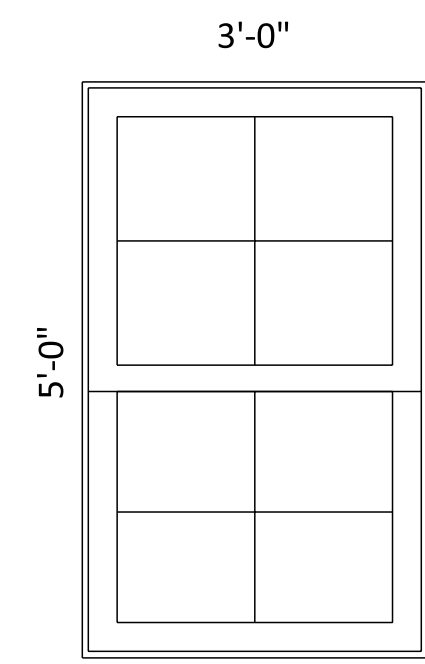
THE WINDOW LABEL IS THE ACTUAL SIZE OF THE WINDOW ITSELF NOT THE ROUGH OPENING SIZE. VERIFY THE ROUGH OPENING SIZE WITH THE WINDOW MANUFACTURER CHOSEN AT SITE.

DOOR SIZE



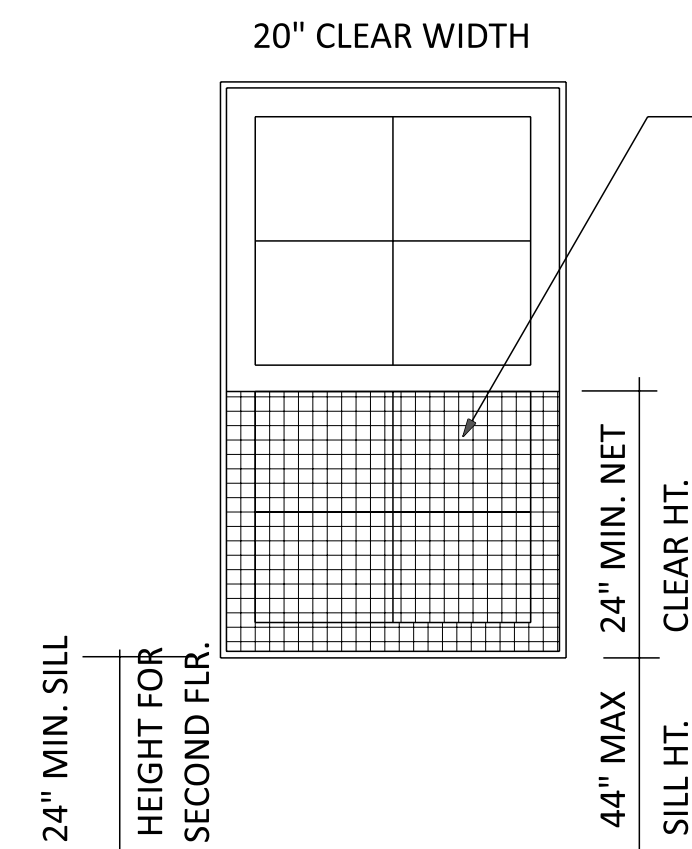
DOOR SIZE AS SHOWN ON FLOOR PLAN --- 3068

WINDOW SIZE



WINDOW SIZE AS SHOWN ON FLOOR PLAN --- 3050

EGRESS



MIN OF 5.7 SQ. FT. GRADE OR BELOW GRADE SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5 SQUARE FEET

Means of egress. Dwellings shall be provided with a means of egress in accordance with this section. The means of egress shall provide a continuous and unobstructed path of vertical and horizontal egress travel from all portions of the dwelling to the required egress door without requiring travel through a garage. The required egress door shall open directly into a public way or to a yard or court that opens to a public way.

Minimum opening area. Emergency and escape rescue openings shall have a net clear opening of not less than 5.7 square feet (0.530 m²). The net clear opening dimensions required by this section shall be obtained by the normal operation of the emergency escape and rescue opening from the inside. The net clear height opening shall be not less than 24 inches (610 mm) and the net clear width shall be not less than 20 inches (508 mm). Exception: Grade floor or below grade openings shall have a net clear opening of not less than 5 square feet (0.465 m²).

Window sill height. Where a window is provided as the emergency escape and rescue opening, it shall have a sill height of not more than 44 inches (1118 mm) above the floor; where the sill height is below grade, it shall be provided with a window well in accordance with local code

Window wells. The horizontal area of the window well shall be not less than 9 square feet (0.9 m²), with a horizontal projection and width of not less than 36 inches (914 mm). The area of the window well shall allow the emergency escape and rescue opening to be fully opened. Exception: The ladder or steps required by local building code shall be permitted to encroach not more than 6 inches (152 mm) into the required dimensions of the window well.

Ladder and steps. Window wells with a vertical depth greater than 44 inches (1118 mm) shall be equipped with a permanently affixed ladder or steps usable with the window in the fully open position. Ladders or steps required by this section shall not be required to comply with local building code.

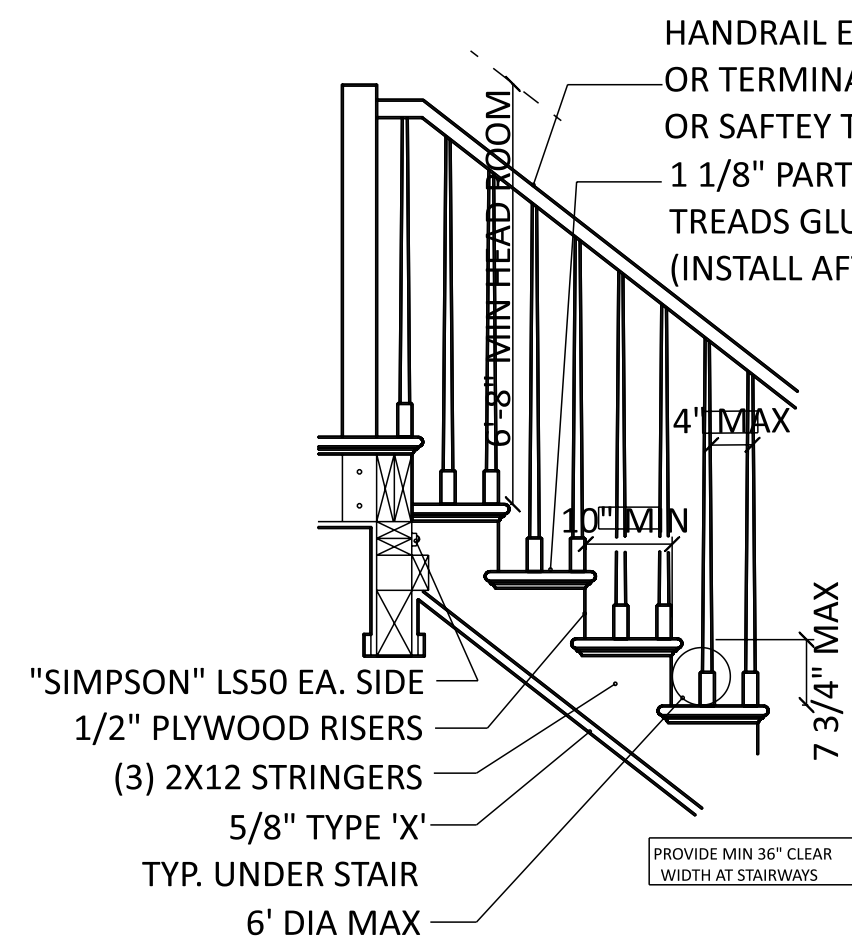
Ladders or rungs shall have an inside width of not less than 12 inches (305 mm), shall project not less than 3 inches (16 mm) from the wall and shall be spaced not more than 18 inches (457 mm) on center vertically for the full height of the window well.

Window fall protection. Window fall protection shall be provided in accordance with local building code.

Window sills. In dwelling units, where the top of the sill of an operable window opening is located less than 24 inches (610 mm) above the finished floor and greater than 12 inches (1829 mm) above the finished grade or other surface below on the exterior of the building, the operable window shall comply with one of the following:

1. Operable windows with openings that will not allow a 4-inch-diameter (102 mm) sphere to pass through the opening where the opening is in its largest opened position.
2. Operable windows that are provided with window fall prevention devices that comply with ASTM F 2090.
3. Operable windows that are provided with window opening control devices that comply with local building code.

Window opening control devices. Window opening control devices shall comply with ASTM F 2090. The window opening control device, after operation to release the control device allowing the window to fully open, shall not reduce the net clear opening area of the window unit to less than the area required by local building code



SEE PLANS FOR HEADER SIZE

FASTEN SHEATHING TO HEADER WITH 8d COMMON NAILS IN 3" GRID PATTERN AS SHOWN AND 3" O.C. IN ALL FRAMING (STUDS AND SILLS) (TYP.)

1000 LB. HEADER-TO-JACK STUD STRAP ON BOTH SIDES OF OPENING (TYP.) (INSTALL ON BACKSIDE AS SHOWN ON SIDE ELEVATION, REF. NO. LSTA24) MIN. (2) 2x4 (TYP.) BRACED WALL SEGMENT

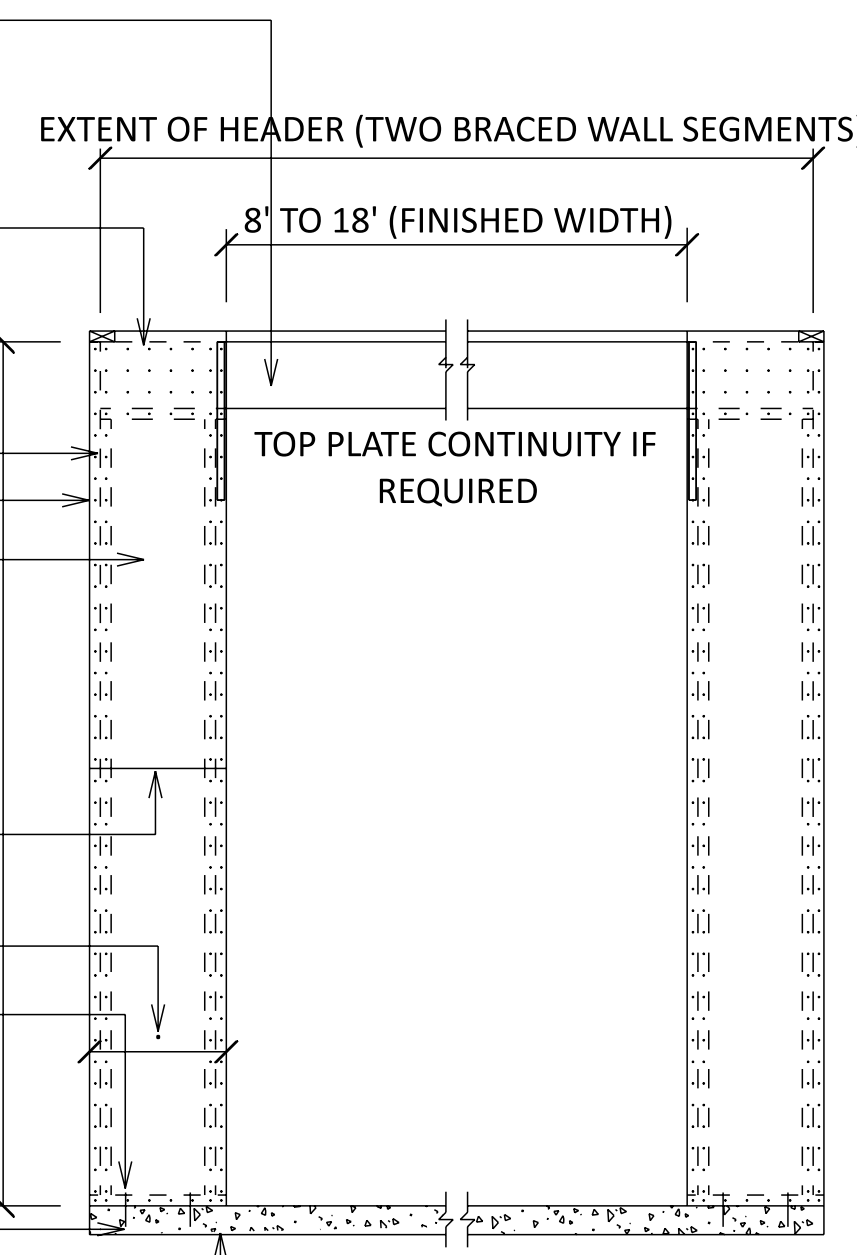
IF PANEL SPLICE IS NEEDED IT SHALL OCCUR WITHIN 24" OF MID-HEIGHT. BLOCKING IS NOT REQUIRED.

MIN. WIDTH BASED ON 6:1 HEIGHT-TO-WIDTH RATIO: FOR EXAMPLE: 167" MIN. FOR 8' HEIGHT

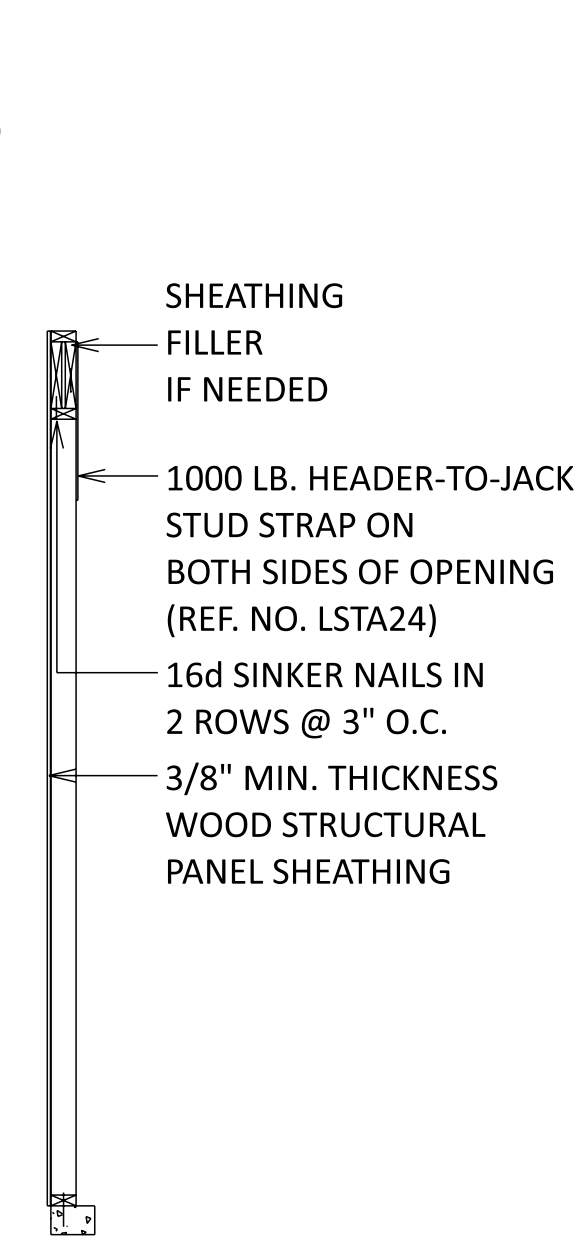
MIN. 2" x 2" x 3/16" PLATE WASHER

ANCHOR BOLT PER SPACE NOT MORE THAN 6'-0" O.C. AND LOCATED WITHIN 12" FROM ENDS OF EACH PLATE SECTION (TYP.)

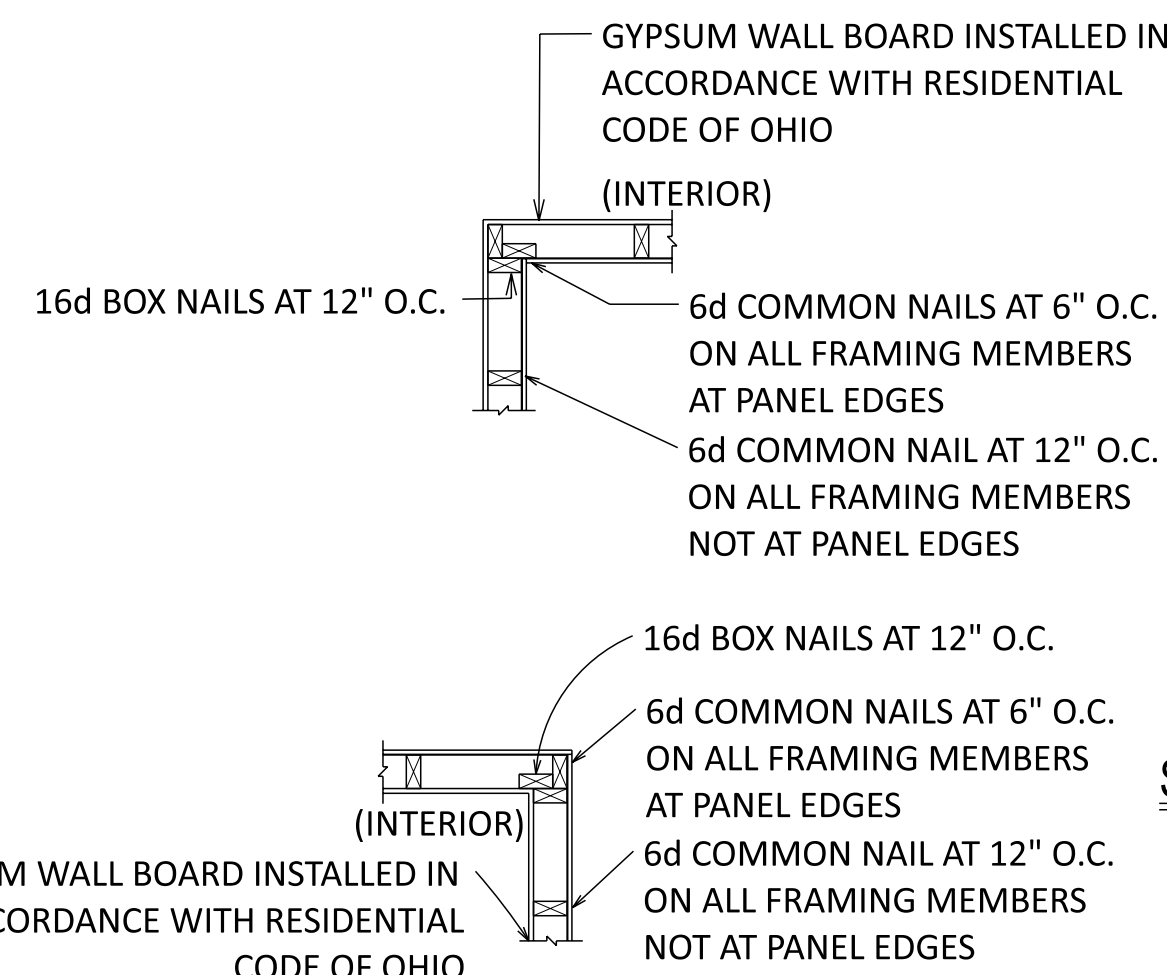
FOUNDATION PER CODE (TYP.)



OUTSIDE ELEVATION

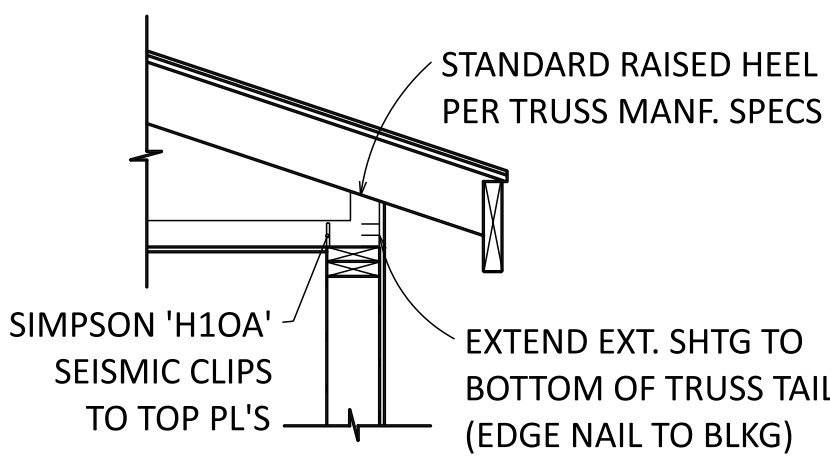


SIDE ELEVATION



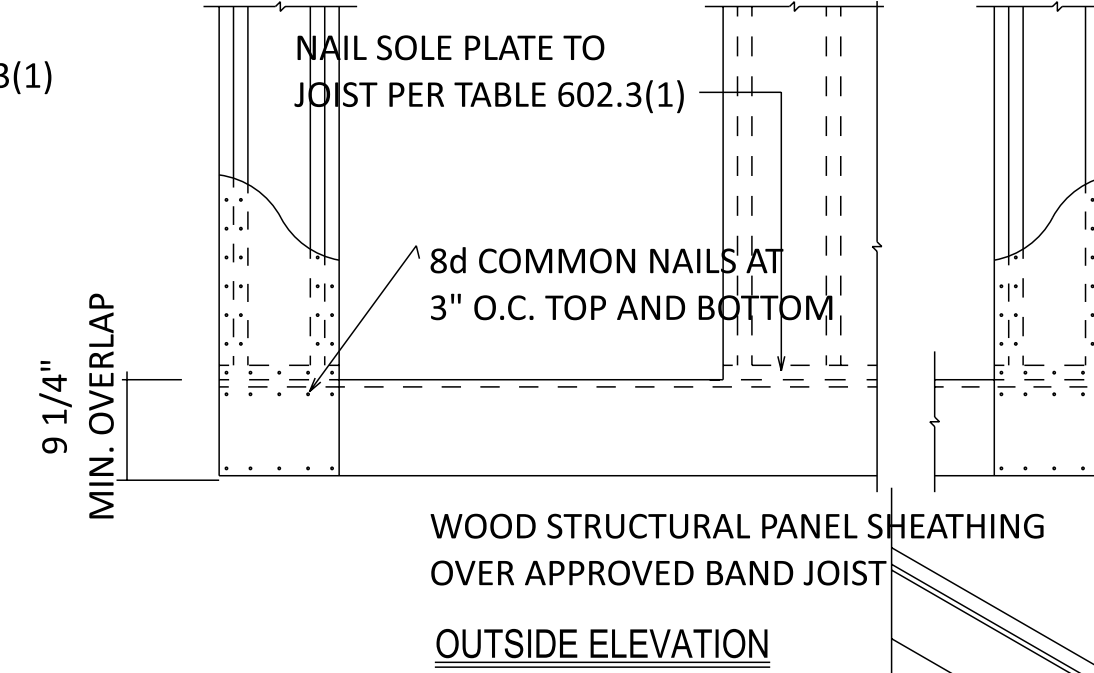
SIDE ELEVATION

(STRUCTURAL PANEL OVERLAP OPTION) USE ENGINEERED WOOD RIM BOARD, I-JOIST, OR DRY LUMBER RIM JOIST TO MINIMIZE POTENTIAL FOR BUCKLING OVER BAND JOIST

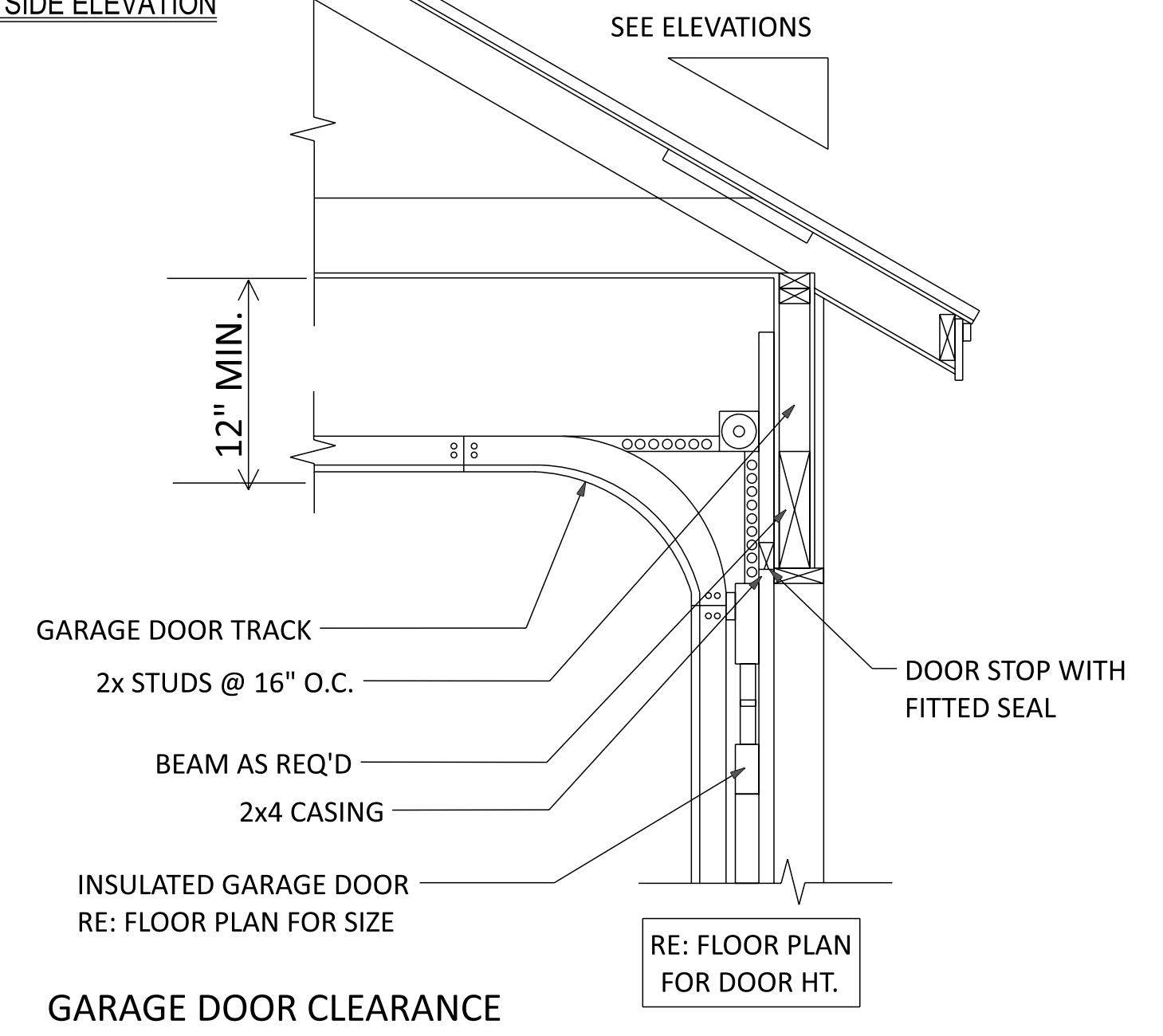


WALL BRACING NOTES

1. MAXIMUM BRACED WALL LINE SPACING 60'-0".
2. MAXIMUM BRACED WALL LINE OFFSET 4'-0".
3. BRACED WALL PANELS TO BEGIN 10'-0" MAXIMUM FROM EACH END OF A BRACED WALL LINE.
4. 20'-0" MAXIMUM BETWEEN ADJACENT EDGES OF BRACED WALL PANELS.
5. 16'-0" OR LESS BRACED WALL LINES REQUIRE MINIMUM TWO BRACED PANELS EQUALLING 48" MINIMUM.
6. 16'-0" OR GREATER BRACED WALL LINES REQUIRE MINIMUM TWO BRACED WALL PANELS.
7. BRACED WALL PANEL FASTENERS REFERENCE LOCAL BUILDING CODE.
8. MINIMUM LENGTH OF BRACED WALL PANELS PER LOCAL BUILDING CODE.
9. MASONRY STEM WALL SUPPORT FOR GARAGE WALLS PER LOCAL CODE.



WOOD STRUCTURAL PANEL SHEATHING OVER APPROVED BAND JOIST
OUTSIDE ELEVATION



GARAGE DOOR CLEARANCE

THE INTENT OF THIS DETAIL IS TO SHOW THE MINIMUM REQUIRED DISTANCE FROM THE TOP OF THE GARAGE DOOR OPENING TO THE CEILING OF THE GARAGE

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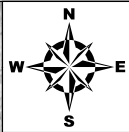
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Bath
Ohio
44333









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SCALE: AS SHOWN
DATE: Thursday, December 26, 2024

REVISIONS

DATE:	



-  Soil boring
-  Soil area
-  Spring discharge
-  Proposed water well
-  Proposed split
-  10' setback
-  50' setback
-  Parcel

0 30 60
 Feet
1 inch = 60 feet
Date drawn: 7/1/2025
Drawn by: JAR

Soil Evaluation Map

Mike Newell
3243 Yellow Creek Rd
Located in Bath Twp, Summit County, OH
Map center: 41.1572 , -81.6202 (NAD 83)

Map sources:
Contours (USGS 3DEP, 2019)
Parcels (Summit GIS, 2025)
Aerial photo (OGRIP, 2021)

